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14 March 2018

Planning Panels Victoria
Email: planning.panels@delwp.vic.gov.au

BCC: parties according to the distribution list

Dear All,

**Fishermans Bend Planning Review Panel – Expert evidence
Addenda 3 to expert evidence of Leanne Hodyl (urban design)**

Please find attached Addenda 4 to expert evidence of Leanne Hodyl (urban design).

As set out in the Overview, Addenda 4 has been prepared to provide further detail in regard to the specific site outcomes for 7 sites not able to deliver the FAR within the discretionary built form controls proposed in the Amendment, being:

- 118 Bertie Street
- 577 Plummer Street
- 61-155 Bertie Street
- 38-50 Bertie Street
- 299 Bridge Street
- 121-123/111 Ferrars St
- 123 Montague St

Please note all parties have been blind copied according to the distribution list dated 28 February 2018.

Yours faithfully,

A handwritten signature in blue ink, appearing to read 'Kate Morris'.

HARWOOD ANDREWS

ADDENDA 4
Amendment GC81
Fishermans Bend
Expert Urban Design
Evidence: Additional
individual 3d site
testing

Prepared on behalf of DELWP
13 March 2018

Overview

- 1) This addenda has been prepared to provide further detail in regards to the specific site outcomes for the 7 sites not able to deliver the FAR within the preferred building enveloped defined by the Amendment (as documented within Addenda 2 issued 9 March 2018).
- 2) These include:
Sandridge
 - 118 Bertie Street
 - 577 Plummer Street
 - 61-155 Bertie Street
 - 38-50 Bertie Street
 - 299 Bridge Street**Montague**
 - 121-123 Ferrars / 111 Ferrars Street
 - 123 Montague Street
- 3) Specific site outcomes for 123 Montague Street have already been provided in Appendix A of the substantive report.
- 4) The following images have been extracted from the 3d model for Fishermans Bend prepared in Urban Circus.
- 5) This addenda does not include any additional recommendations for changes to the draft Framework or the Amendment.

Assumptions within the 3d model

- 6) All modelling assumptions within the model are as outlined in Addenda 2, dated 9th March 2018.

Findings

- 7) The 3d testing illustrates that while the discretionary height limits are exceeded the overall design objectives are met (including overshadowing requirements).
- 8) The 3d testing has assumed mixed use developments with all floors above the street wall height as residential uses. If these were commercial all sites could deliver the FAR within the height limit.
- 9) The 3d testing has deliberately exceeded the height limit where the overall design outcome is improved (e.g. allowing the retention of a heritage building or the delivery of additional laneways).

118 Bertie Street

Submission no. 182

Proposed controls	
Gross developable area (m²)	3,100 (calculated from model and rounded up to nearest 100)
Precinct	Sandridge
Core or non core	Core
Applicable FAR	7.4:1
Potential maximum yield through FAR (m²)	22,940
Applicable height limit (storeys)	12 storeys Unlimited
Site layout requirements (must)	New 12m wide street to the south
Site layout requirements (m²)	1,100
Site layout requirements (%)	35
Remaining net developable area (m²)	2,000
Additional preferred site layout requirements	N/A
Maximum street wall height	6 storeys
Overshadowing requirements of nearby parks/streets	No overshadowing of linear park to the south-west

Public open space

Winter overshadowing controls

Spring overshadowing controls

No overshadowing controls

Private open space

Building GFA delivered through FAR (Core)

Building GFA delivered through FAR (Non-core)

Building GFA delivered above the discretionary height limit

Site where the FAR cannot be delivered within the proposed building envelope controls

Heritage buildings

Individual building shadow

*FAR could be delivered if a greater proportion of floor area was allocated to commercial uses

6.7 FAR - 7.4 FAR not able to be achieved within built form controls in constrained net developable area













Figure 1 Potential development outcome at 118 Bertie Street

577 Plummer Street

Submission no. 180

Proposed controls

Gross developable area (m ²)	9,100 (calculated from model and rounded up to nearest 100)
Precinct	Sandridge
Core or non core	Core
Applicable FAR	7.4:1
Potential maximum yield through FAR (m ²)	67,340
Applicable height limit (storeys)	12 storeys (to the south) 24 storeys (to the north)
Site layout requirements (must)	New park, 16m street widening north side of Plummer Street
Site layout requirements (m ²)	3,900
Site layout requirements (%)	43
Remaining net developable area (m ²)	5,200
Additional preferred site layout requirements	N/A
Maximum street wall height	6 storeys Plummer Street and Bridge Street
Overshadowing requirements of nearby parks/streets	No overshadowing of Plummer Street (south side) first 6m north of property boundary between 11am and 2pm September 22 No overshadowing of Neighbourhood Park located to the south-east of the subject site on Plummer Street between 11am and 2pm 22 September

Public open space	
 Winter overshadowing controls	 Building GFA delivered through FAR (Core)
 Spring overshadowing controls	 Building GFA delivered through FAR (Non-core)
 No overshadowing controls	 Building GFA delivered above the discretionary height limit
 Private open space	 Site where the FAR cannot be delivered within the proposed building envelope controls
	 Heritage buildings
	 Individual building shadow

*could be delivered within height limit if a greater proportion of floor area was allocated to commercial uses

reduced net developable areas results in increase above discretionary height control

7 additional storeys (21.8m)

16m street widening north of Plummer Street to allow for tram reduces net developable area

4 additional storeys (11.8m)

discretionary 10m setback above street wall reduced to 5m (mandatory)

20m separation between towers

new park reduces net developable area

No overshadowing between 11am and 2pm 22 September

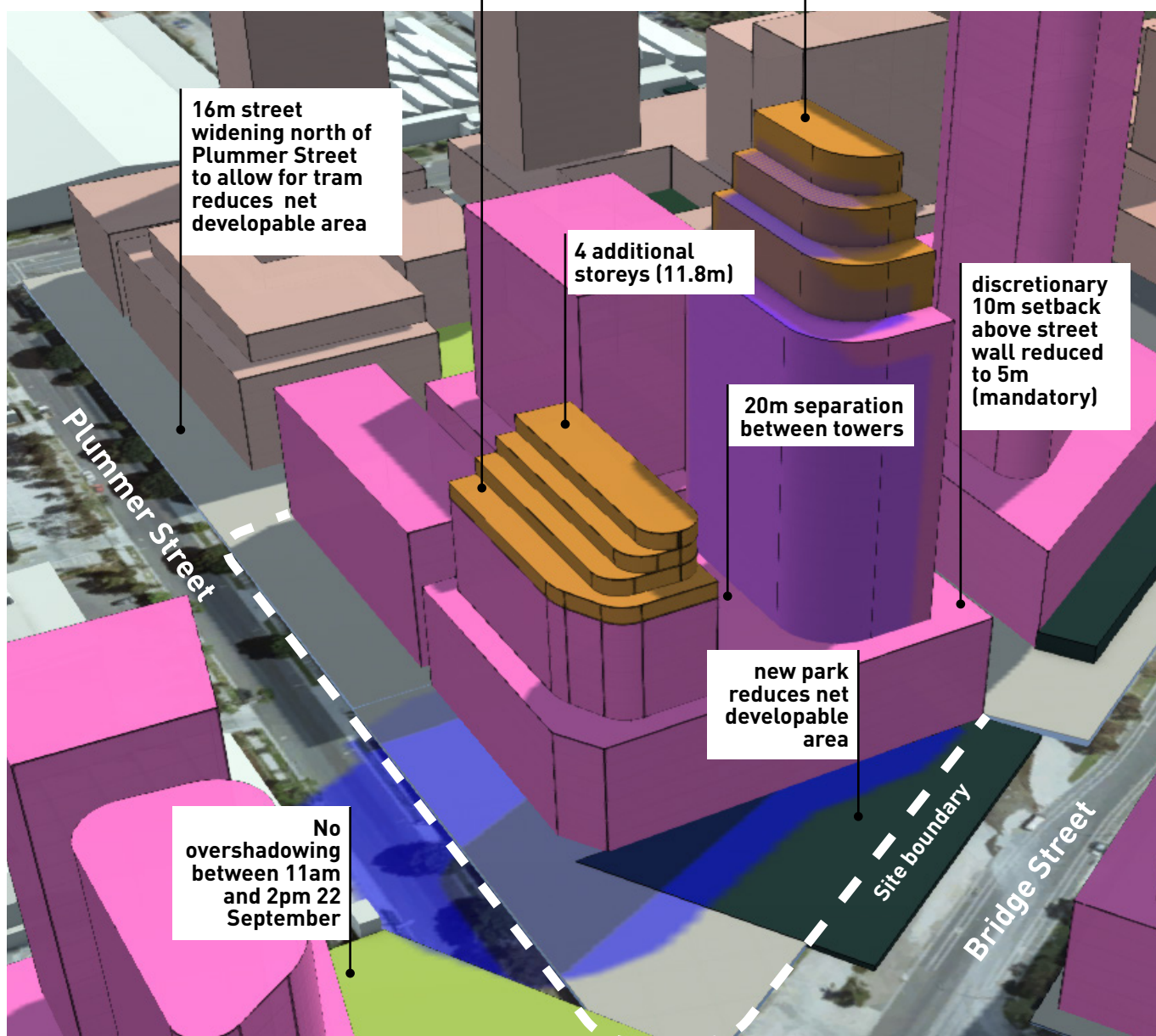












Figure 2 Potential development outcome at 577 Plummer Street

61-155 Bertie Street

Submission no. 220

Proposed controls

Gross developable area (m ²)	40,000 (calculated from model and rounded up to nearest 100)
Precinct	Sandridge
Core or non core	Core
Applicable FAR	7.4:1 (Core) / 3.3:1 (Non-core)
Potential maximum yield through FAR (m ²)	121,996 (Core) 76,230 (Non-core)
Applicable height limit (storeys)	12 storeys (to the south) 24 storeys (to the north)
Site layout requirements (must)	new 22m street
Site layout requirements (m ²)	3900
Site layout requirements (%)	10
Remaining net developable area (m ²)	36,100
Additional preferred site layout requirements	Internal laneway connections
Maximum street wall height	6 storeys
Overshadowing requirements of nearby parks/streets	No overshadowing of Neighbourhood Park located to the south-east of the subject side on Plummer Street between 11am and 2pm 22 September

Public open space		
 Winter overshadowing controls	 Building GFA delivered through FAR (Core)	
 Spring overshadowing controls	 Building GFA delivered through FAR (Non-core)	
 No overshadowing controls	 Building GFA delivered above the discretionary height limit	
	 Site where the FAR cannot be delivered within the proposed building envelope controls	
 Private open space	 Heritage buildings	
	 Individual building shadow	

***could be delivered within height limit if a greater proportion of floor area was allocated to commercial uses**

new 22m street

height can only exceeds 12 storeys if open space isn't overshadowed

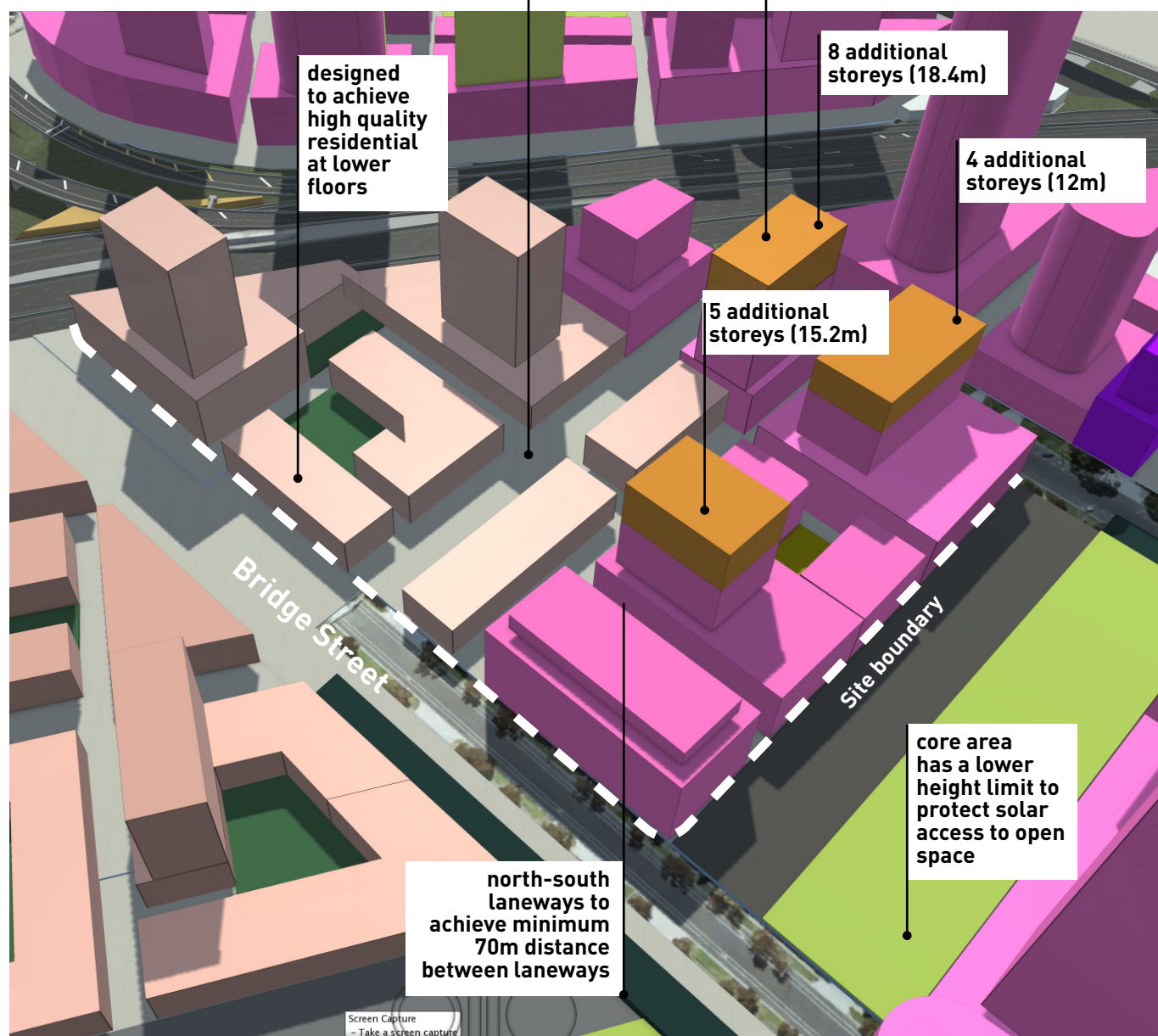












Figure 3 Potential development outcome at 61-155 Bertie Street

38-50 Bertie Street

Submission no. 223

Proposed controls

Gross developable area (m ²)	7,900 (calculated from model and rounded up to nearest 100)
Precinct	Sandridge
Core or non core	Core
Applicable FAR	7.4:1
Potential maximum yield through FAR (m ²)	58,460
Applicable height limit (storeys)	4 storeys (to the south) 12 storeys (to the north)
Site layout requirements (must)	N/A
Site layout requirements (m ²)	N/A
Site layout requirements (%)	N/A
Remaining net developable area (m ²)	N/A
Additional preferred site layout requirements	Internal laneway connection
Maximum street wall height	3 storeys Woodruff Street (to avoid overshadowing) 6 storeys Bertie Street
Overshadowing requirements of nearby parks/streets	No overshadowing of North Port Oval between 11am and 2pm June 22

Public open space	 Building GFA delivered through FAR (Core)
 Winter overshadowing controls	 Building GFA delivered through FAR (Non-core)
 Spring overshadowing controls	 Building GFA delivered above the discretionary height limit
 No overshadowing controls	 Site where the FAR cannot be delivered within the proposed building envelope controls
 Private open space	 Heritage buildings
	 Individual building shadow

*could be delivered within height limit if a greater proportion of floor area was allocated to commercial uses

6m ground floor setback to the north

10m tower setback from the north boundary

10 additional storeys (31.2m)

5 additional storeys (15.2m)

overshadowing control constrains height to the south of the site

9m ground floor setback to east to allow for habitable uses in lower levels of the building

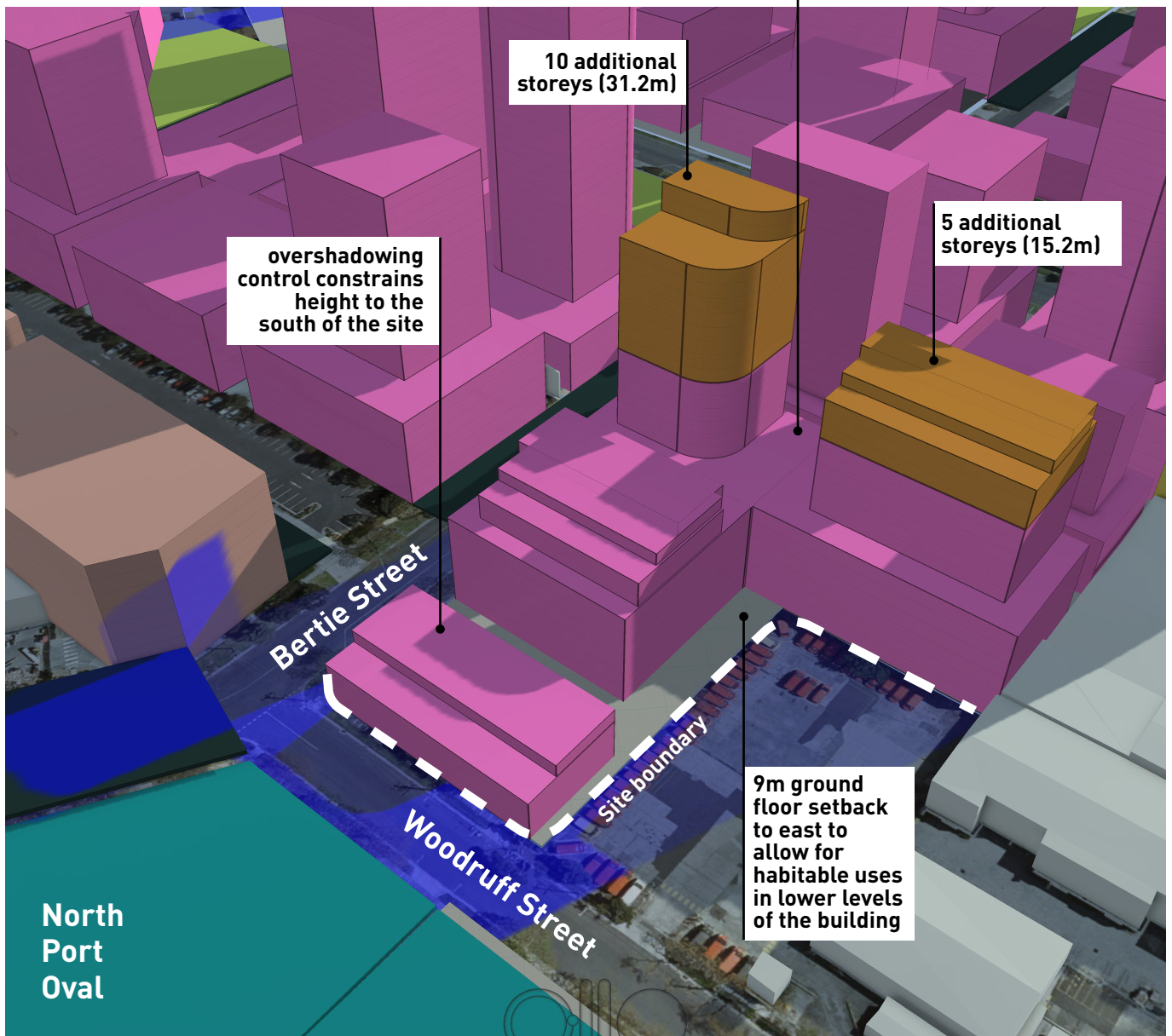


Figure 4 Potential development outcome at 38-50 Bertie Street




299 Bridge Street

Submission no. 180







Proposed controls

Gross developable area (m ²)	13,800 (calculated from model and rounded up to nearest 100)
Precinct	Sandridge
Core or non core	Core/Non-core
Applicable FAR	7.4:1 and 3.3:1
Potential maximum yield through FAR (m ²)	63,144 (Core) and 17,120 (Non-core)
Applicable height limit (storeys)	20 storeys (to the north) 8 storeys (to the south)
Site layout requirements (must)	Portion of a new park, 22m wide street
Site layout requirements (m ²)	4,640
Site layout requirements (%)	15
Remaining net developable area (m ²)	9,160
Additional preferred site layout requirements	N/A
Maximum street wall height	6 storeys (Bridge Street and Plummer Street) 8 storeys (sites to the south overall height less than 10 storeys)
Overshadowing requirements of nearby parks/streets	N/A

Public open space

-  Winter overshadowing controls
-  Spring overshadowing controls
-  No overshadowing controls

Private open space

-  Building GFA delivered through FAR (Core)
-  Building GFA delivered through FAR (Non-core)
-  Building GFA delivered above the discretionary height limit
-  Site where the FAR cannot be delivered within the proposed building envelope controls
-  Heritage buildings
-  Individual building shadow

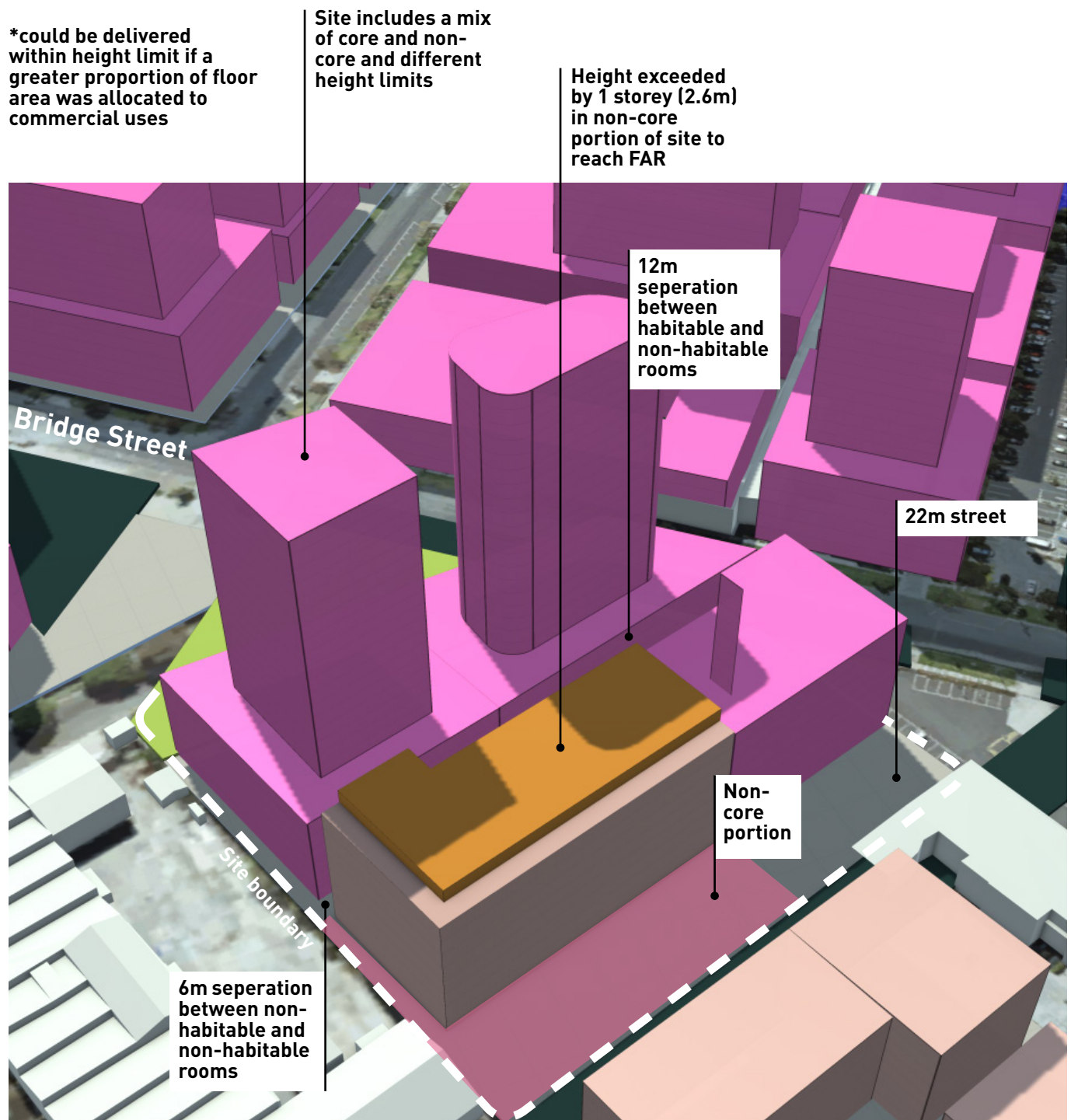


Figure 5 Potential development outcome at 299 Bridge Street

121-123 Ferrars Street/111 Ferrars Street

Submission no. 244

Proposed controls	
Gross developable area (m²)	7,100 (calculated from model and rounded up to nearest 100)
Precinct	Montague
Core or non core	Non-core
Applicable FAR	6.3:1
Potential maximum yield through FAR (m²)	44,730
Applicable height limit (storeys)	8 storeys
Site layout requirements (must)	N/A
Site layout requirements (m²)	N/A
Site layout requirements (%)	N/A
Remaining net developable area (m²)	7,100
Additional preferred site layout requirements	Heritage retention
Maximum street wall height	6 storeys
Overshadowing requirements of nearby parks/streets	No overshadowing of Montague Park between 11am and 2pm June 22

Public open space

Winter overshadowing controls

Spring overshadowing controls

No overshadowing controls

Private open space

Building GFA delivered through FAR (Core)

Building GFA delivered through FAR (Non-core)

Building GFA delivered above the discretionary height limit

Site where the FAR cannot be delivered within the proposed building envelope controls

Heritage buildings

Individual building shadow

*could be delivered within height limit if a greater proportion of floor area was allocated to commercial uses

Additional height allows for heritage buildings to be retained while overshadowing requirements are still met

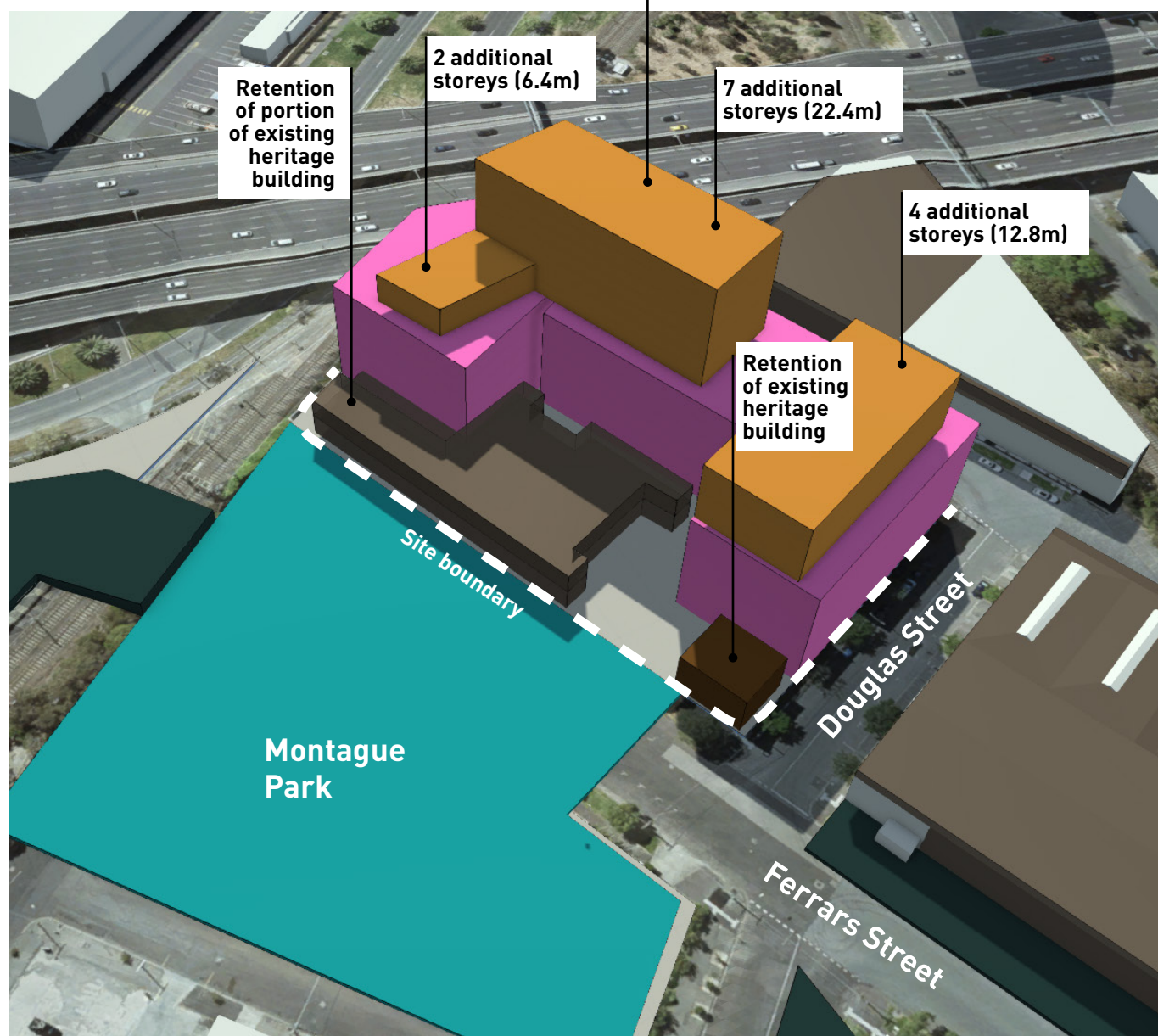
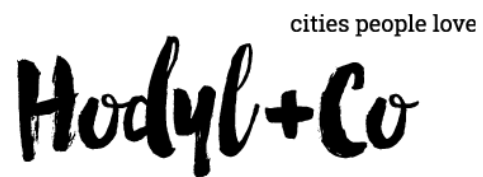


Figure 6 Potential development outcome at 121-123 Ferrars Street/111 Ferrars Street



Prepared by Hodyl + Co for DELWP
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